

## Chapter 19.04 DESIGN STANDARDS FOR DETACHED SINGLE-FAMILY USES AND DUPLEXES

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### **19.04.010 Purpose and applicability.**

A. Purpose.

1. To ensure that developments are compact, pedestrian friendly, and contribute to the character of the town and surrounding neighborhood.
2. To create variety and interest in residential streets.
3. To integrate open space and natural features into developments.
4. To minimize impacts to the natural environment.

B. Applicability. The standards in this chapter shall apply to detached single-family uses, accessory dwelling units, and duplexes in any zone they are built within, except as modified under 19.04.050, Infill Single-family and Duplex Development.

C. Requests for exceptions within this chapter shall not exceed three. (Ord. 2018-14 § 2 (Exh. A) 2018; Ord. 2010-09 § 1, 2010).

### **~~19.04.020 Garage Placement and Design~~~~Detached single-family uses.~~**

**~~A. Garage Placement and Design.~~**

1. Where lots front on a public street and where vehicular access is from the street, garages or carports shall be set back at least five feet behind the front wall of the house or front edge of an unenclosed porch. On corner lots, this standard shall only apply to the designated front yard. Lots within a designated low impact subdivision (see EMC [19.06.030](#)) are exempt from this standard.

Exceptions:

a. Garages may project up to six feet closer to the street than the front wall of the house or front edge of an unenclosed porch provided it is set back at least 20 feet from the street and incorporates at least two of the design/detail features below. Garages placed flush with the front wall of the house shall incorporate at least one of the design/detail features below:

- i. A decorative *trellis* over the entire garage.
- ii. A *balcony* that extends out over the garage ~~and includes columns~~ a minimum of 3 feet.
- iii. Two separate doors for two car garages instead of one large door.
- iv. Decorative windows on the garage door.
- v. Decorative details on the garage door. Standard squares on a garage door will not qualify as a decorative detail.
- vi. A garage door color (other than white) that matches or complements the color of the house.
- vii. Other design techniques that effectively deemphasize the garage, as determined by the planning director.

b. Garages may be placed closer to the street than the front wall of the house or front edge of an unenclosed porch provided it faces towards the side yard and features a window facing the street so that it appears to be habitable.

2. The garage face shall occupy no more than 50 percent of the ground-level facade facing the street. The garage face may occupy up to 55 percent of the ground-level façade facing the street if at least one additional design/detail feature listed above under the Garage Placement and Design exceptions is utilized. The garage face may occupy up to 60 percent of the ground-level façade facing the street if at least two additional design/detail features listed above under the Garage Placement and Design exceptions are utilized.

3. Where lots abut an opened alley, the garage or off-street parking area ~~shall~~ is encouraged to take access from the alley, ~~unless precluded by steep topography.~~

4. Exceptions.

- a. A garage proposed on a lot greater than one-half acre in size may request an exception from the garage placement and design standards of subsections (A)(1), (2) and (3) of this section; or
- b. A garage proposed on a lot that is less than one-half acre in size may request an exception from the garage placement and design standards of subsections (A)(1), (2) and (3) of this section when the proposed garage is more than 150 feet from another lot with a garage that does not comply with the garage placement and design standards herein; or
- c. A garage proposed on a lot having a unique configuration, attribute or overall project design element may request an exception from the garage placement standards of subsections (A)(1), (2) and (3) of this section. It shall be the applicant's responsibility to successfully demonstrate:
  - i. The unique and individual circumstances that justify an exception; and
  - ii. If granted, how the resulting development will meet the intent of the design standards and be compatible with the existing and/or future development of the neighborhood.

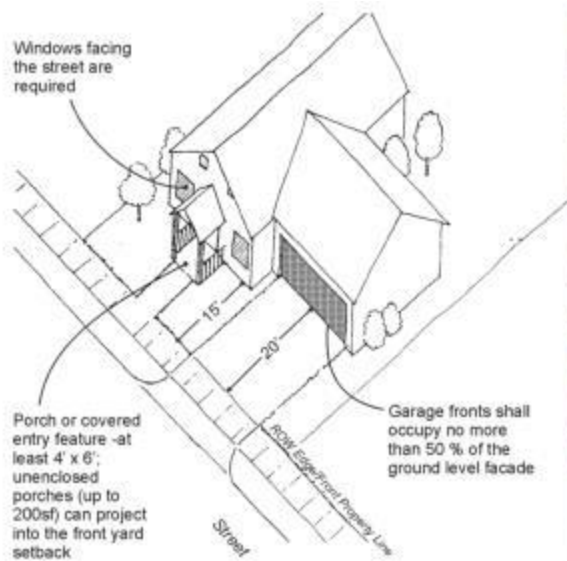


Figure 1. Garage placement/frontage standards and design example.



Figure 2. Examples of garage design/detail examples.

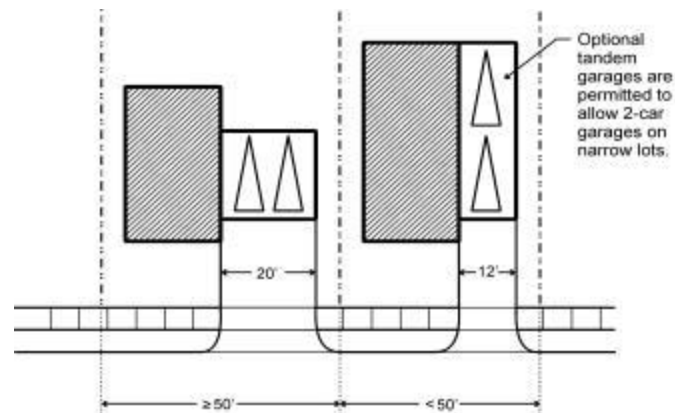
**19.04.030 B- Vehicular Access and Driveway Standards.**

1. ~~All~~ lots with alleys shall be encouraged to take vehicular access from the alley. ~~Standards for all other lots without alleys:~~

2. No more than one driveway per dwelling unit (excluding alley access).

3. Driveways for individual lots 50 feet or wider may be up to 20 feet in the width of the garage door (not to exceed a maximum of 36' or 50% of the lot width).

4. ~~Driveways for individual lots less than 50 feet wide may be up to 12 feet in width. Tandem parking configurations may be used to accommodate two-car garages~~ Driveways serving residential uses located in commercial or multi-family zoned properties shall comply with EMC 19.03.050.3., the Commercial and Multi-family Driveway Standards.



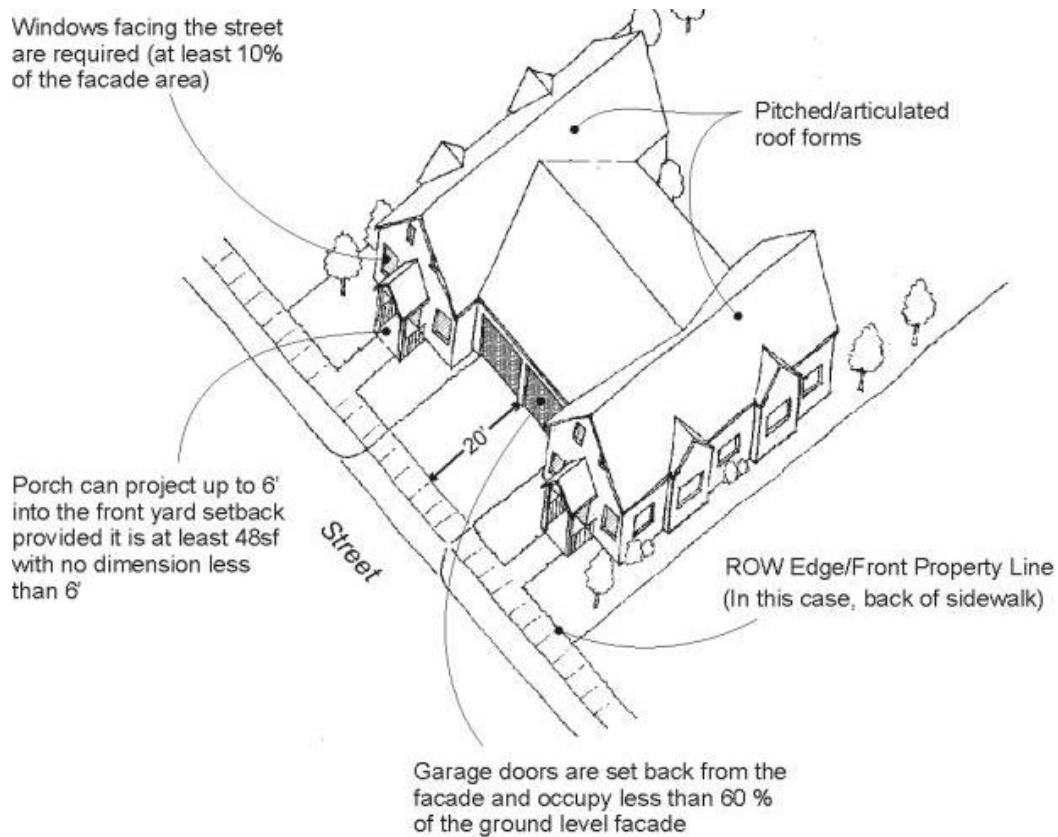


Figure 3. Duplex design Driveway standards example.

4. Exceptions.

a. Vehicular access and driveways proposed on lots that are greater than one-half acre in size and are not less than 100 feet in width along the lot frontage may have a driveway ~~width of up to 24 feet;~~ that exceeds the standards above in 19.04.030, or

b. A lot determined by the director to have a unique configuration or attribute that warrants consideration of an exception may request an exception to the vehicular access and driveway standards. It shall be the applicant's responsibility to successfully demonstrate:

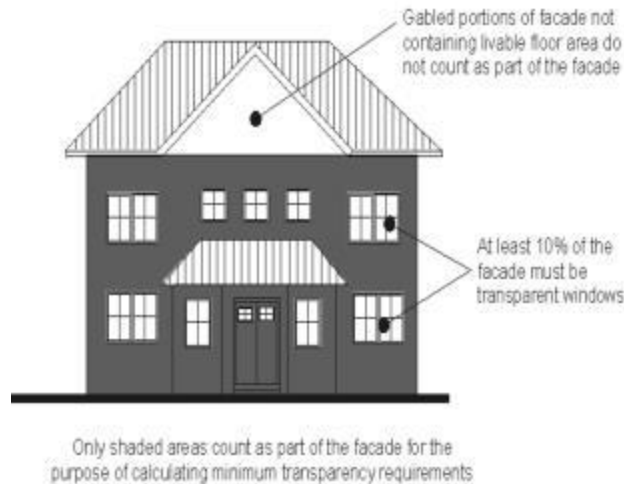
- i. The unique and individual circumstances that justify an exception; and
- ii. If granted, how the resulting development will meet the intent of the design standards and be compatible with the existing and/or future development of the neighborhood.

**19.04.040 C. Building Design.**

1. Covered Entry. All ~~houses~~ dwellings shall provide a covered entry with a minimum dimension of four feet by six feet. ~~Porches up to 200 square feet may project into the required front yard by up to six feet.~~ See Figure 1 for an example. Duplexes shall have separate covered entries for each unit with a minimum dimension of 4-feet by 6-feet. See Figure 3 for an example. Porches up to 200 square feet may project into the required front yard by up to six feet.

2. Windows and Transparency.

a. Transparent windows and/or doors facing the street are required. To meet this requirement, at least 10 percent of the facade must be transparent. The facade is measured from the base of the house to the start of the roofline and any other vertical walls facing the street, except for gabled portions of the facade not containing livable floor area (see Figure 4 for clarification). Garages facing the street shall count as part of the facade.



**Figure 4. Facade transparency.**

b. Building facades visible from a public street shall employ techniques to recess or project individual windows above the ground floor at least two inches from the facade or incorporate window trim at least four inches in width that features color that contrasts with the base building color. Exceptions will be considered where buildings employ other distinctive window or facade treatment that adds depth and visual interest to the building.





**Figure 5. Acceptable (left and middle) and unacceptable (right) window design.**

3. Architectural Details. Provide for architectural details that add visual interest to the neighborhood and are well proportioned to achieve good human scale. Specifically, incorporate at least three of the following detail elements into the facade of the house:

- a. Decorative porch design, including decorative columns or railings.
- b. Bay windows or balconies.
- c. Decorative molding/framing details around all ground floor windows and doors.
- d. Decorative door design including transom and/or side lights or other distinctive feature.
- e. Decorative roofline elements including brackets, multiple dormers, and chimneys.
- f. Decorative building materials, including decorative masonry, shingle, brick, tile, stone, or other materials with decorative or textural qualities.
- g. Landscaped trellises or other decorative elements that incorporate landscaping near the building entry.
- h. Distinctive paint schemes.
- i. Exceptions: Other decorative facade elements or details that meet the intent and standards as determined by the planning director.



**Figure 6. Examples of how houses can meet architectural detail criteria. Image A includes decorative windows, building material treatment, and roofline elements. Image B includes decorative brick use, window treatments, entry design, and ventilation circles. Image C includes decorative building materials, door/entry feature, windows, and roofline elements.**

4. Architectural Variety. Developments of five (5) or more homes shall achieve architectural variety by accommodating a variety of architectural styles, variations of the same architectural style, and through the use of multiple design elements. Specifically:

a. Duplicative house designs adjacent to each other are prohibited. Simple reverse configurations of the same house design on adjacent lots are not sufficient to meet architectural variety goals. Exceptions may be granted by the planning director in special circumstances where similar architectural consistency provides a distinct character for a cluster of homes surrounding an open space or on a particular street (cottage homes around a common open space are an example).

b. Generally, the more houses in a subdivision, the greater the number of different facade elevations will be required. Specifically:

i. 5-to-9 homes, a minimum of 3 different façade elevations shall be used.

ii. Ten10--to--19 homes, a minimum of four different facade elevations shall be used.

iii. Twenty20-to--39 homes, a minimum of five different facade elevations shall be used.

iv. Forty40-to--69 homes, a minimum of six different facade elevations shall be used.

v. Seventy70 or more homes, a minimum of seven different facade elevations shall be used.





**Figure 7. Examples of homes featuring different facade elevations. Notice the different rooflines, entry features, window designs/locations, exterior materials, and colors.**

c. In order to qualify as a different facade elevation, dwellings shall have different roofline configurations, different color palettes, and different porch/entry design. In addition, a minimum of two of the following alternatives shall be utilized:

- i. Different window openings (location and design).
- ii. ~~One-Single~~ and two-story houses.
- iii. Different exterior materials and finishes.
- iv. Different garage location, configuration, and design.
- v. Exceptions: Other different design element that helps to distinguish one facade elevation from another as determined by the planning director.

#### 5. Exterior Materials.

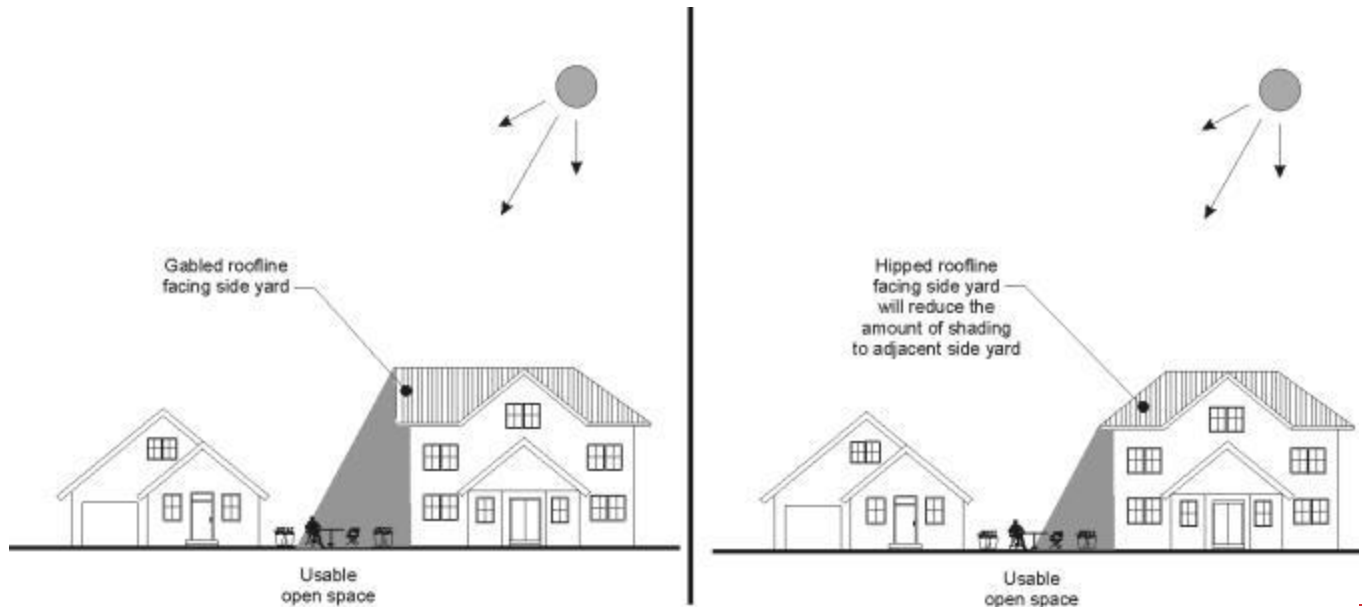
~~a. Traditional materials consistent with local and regional architectural styles are encouraged (horizontal wood siding and brick).~~

~~b. Stucco and other troweled finishes should be trimmed in masonry or wood.~~

~~c. Mirrored glass and exposed concrete block (except for foundation/crawl space walls where not visible from the street) are not in keeping with the historic character of Eatonville and are prohibited.~~

~~d.~~ T-111 siding and other plywood types of siding (board and batten is an exception) shall not be used for more than 50% of facades adjacent to or directly viewable from a street.

6. ~~Roof Design. Provide pitched or articulated roof line, or other roof element such as eyebrow roof forms or dormers that emphasize building form and help it to fit in with neighboring structures with prominent roofs. Pitched roofs shall utilize a minimum slope of 4:12. Encourage rooflines along the side yard that maximize solar access to adjacent homes and/or private open space.~~



**Figure 8. Encourage rooflines along the side yard that maximize solar access to adjacent homes and/or private open space.**

7. Accessory Buildings. Accessory buildings (including detached garages) with more than 200 square feet of floor area shall be designed compatible with the house by using consistent materials, detailing, and roofline, as determined by the planning director.

8. Exceptions.

a. Building designs associated with proposed minor remodeling may request an exception to the building design standards. It shall be the applicant's responsibility to successfully demonstrate:

i. If granted, how the resulting development will meet the intent of the design standards and be compatible with the existing and/or future development of the neighborhood; and

~~ii. The minor remodel will cost less than \$5,000; and~~

iii. The minor remodel costs are calculated at fair market value; and

iv. Provide three complete project cost estimates (unless waived by the director); and

~~v. Remodel costs associated with approved exceptions shall not exceed \$5,000 every two years.~~ (Ord. 2018-14 § 2 (Exh. A), 2018; Ord. 2010-09 § 1, 2010).

**~~19.04.030 Duplexes.~~**

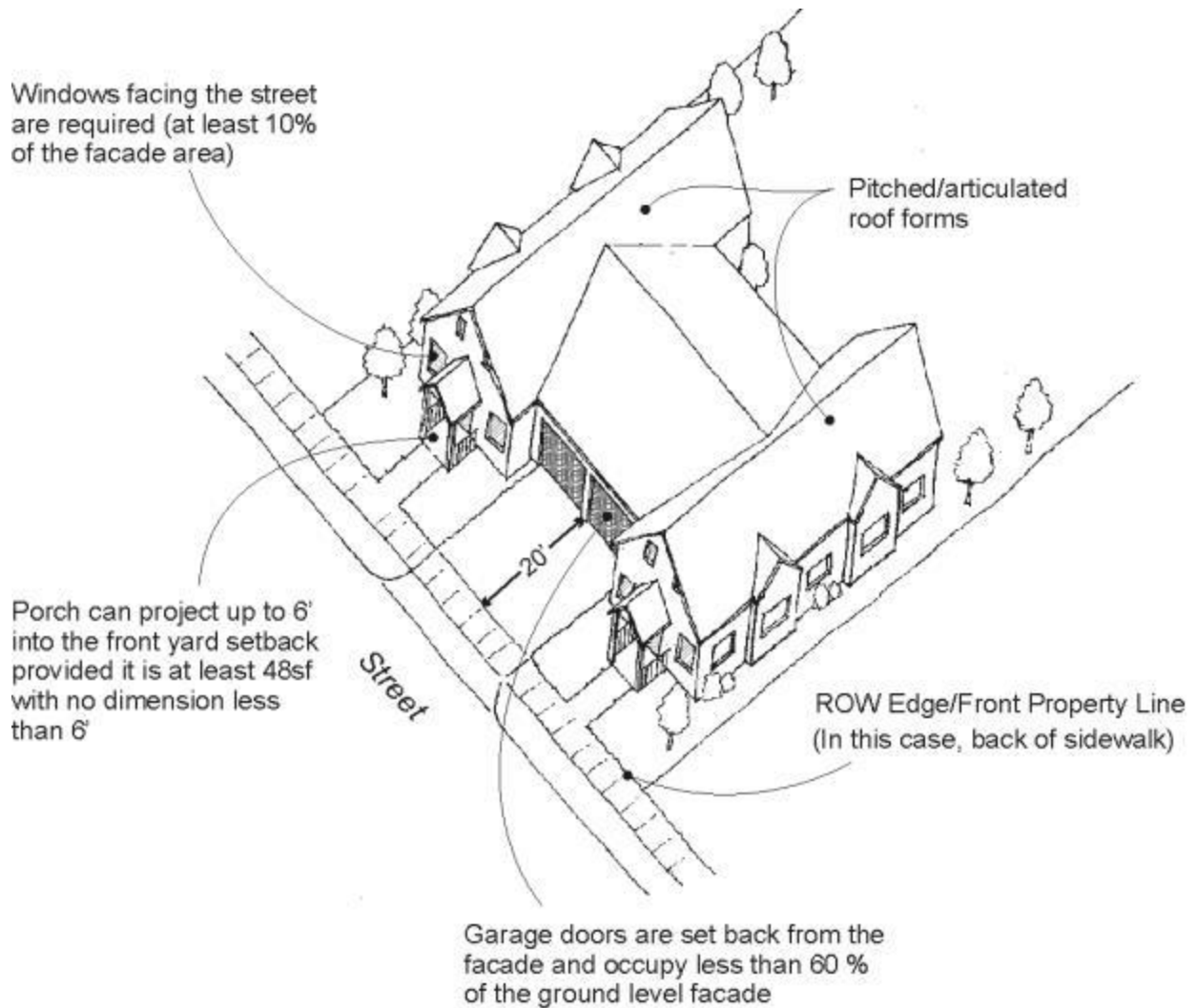
~~Duplexes should be designed similar in nature to single family homes and shall feature a visible entry and windows facing the street. The visibility of driveways and garages shall be minimized and sufficient private open space provided. Specifically, duplexes shall comply with all detached single family design standards in EMC 19.04.020 with the following exceptions and additional provisions:~~

~~A. For sites without alleys, duplexes may include a 20-foot-wide shared driveway or two 12-foot driveways on opposite ends of the lot.~~

~~B. Separate covered entries for each unit are required with a minimum dimension of four feet by six feet. Porches up to 200 square feet may project into the required front yard by up to six feet.~~

~~C. Duplexes on corner lots shall place pedestrian entries on opposite streets.~~

~~D. At least 10 percent of the street-facing facade shall be windows or other glazing (e.g., door glazing).~~



**Figure 9. Duplex design standards.**

(Ord. 2010-09 § 1, 2010).

#### **19.04.050 Infill Development.**

##### **A. Purpose.**

- 1. To recognize existing conditions, opportunities and promote single-family and duplex infill development in existing residential and multi-family neighborhoods.**
- 2. To provide single-family and duplex infill development opportunities that promote variety and interest in residential and multi-family neighborhoods with limited design standard requirements.**

B. Applicability. This section shall only apply to detached single-family uses and duplexes in the SF-1, SF-2, MF-1 or MF-2 zones.

C. Infill Development Eligibility. Existing vacant infill lots shall be considered eligible for "infill development" when the number of existing vacant lots do not exceed one (1) individual lot or no more than two (2) abutting vacant lots. Vacant lots shall be considered abutting when located immediately adjacent to one another on the same side of the street, or be located across the street or alley from one another, as determined by the Planning Director.

D. Infill Design Standards.

1. Infill development shall comply with the following standards:

a. 19.04.020, Garage Placement and Design, with the following exceptions:

i. \_\_\_\_\_

ii. \_\_\_\_\_

iii. \_\_\_\_\_

b. 19.04.030, Vehicular Access and Driveway Standards, with the following exceptions:

i. \_\_\_\_\_

ii. \_\_\_\_\_

a. 19.04.040, Building Design, with the following exceptions:

i. \_\_\_\_\_

ii. \_\_\_\_\_

iii. \_\_\_\_\_